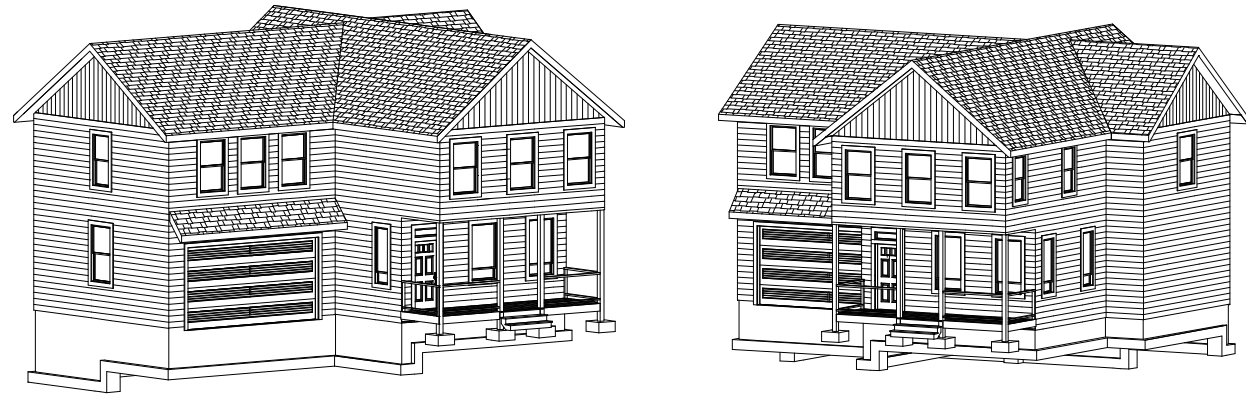


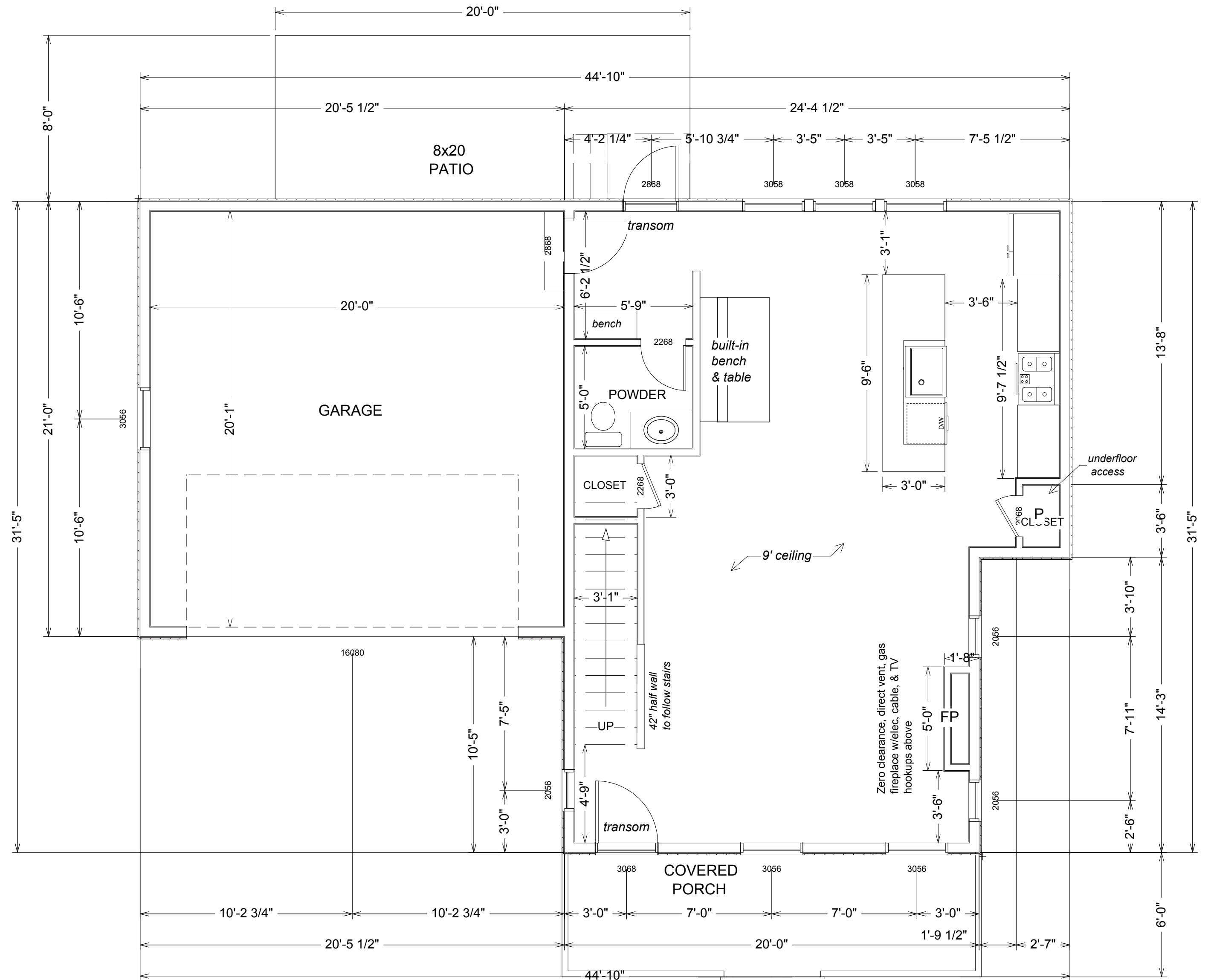
New Construction: 3 Bdrm, 3 1/2 Bath, Media, 2 Car Garage, Single Family Residence



OVERVIEWS
(no scale)

ALWAYS VERIFY SIZE, STYLE, & TEMPORED PRIOR TO ORDERING

WINDOW SCHEDULE			DOOR SCHEDULE		
QTY	FLOOR	SIZE	QTY	FLOOR	SIZE
3	1	2056	1	1	2068
3	1	3056	2	1	2868
3	1	3058	1	1	3068
2	2	2246	2	1	2268
1	2	2650	2	2	2068
9	2	3050	3	2	2268
2	2	2240	3	2	2468
PLUS TRANSOMS			4	2	2668
			1	2	5068
			1	2	2868



1ST LEVEL FLOOR PLAN
Scale: 1/4" = 1'

Consult plumber RE tankless water htr placement
Consult Electrician RE elec panel & meter placement
Heat source: Gas fireplace & elec zone "Cadet" style htrs
AND/OR mini split

Frame windows @ 95"

NOTES:
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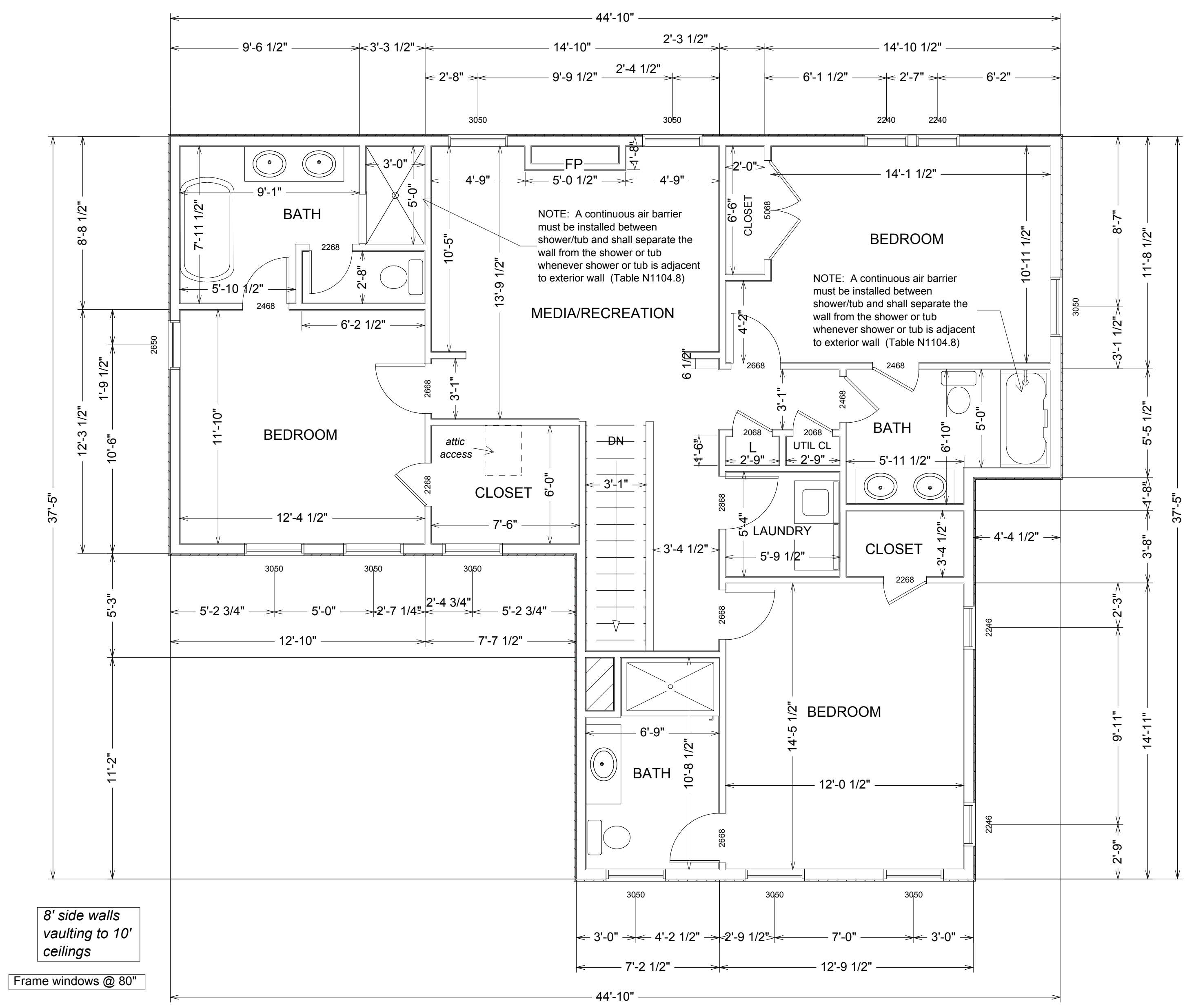
OWNER/DEVELOPER: Walker John
C/O Olivia Beach Construction
3329 SW Hwy 101, Lincoln City, OR
(541) 921-1247

PROJECT MNGR: Erin Briggs
email: erin@oliviabeach.com
cell: (541) 992-4341

380 SW 3rd St
MAP/TAX LOT:
R3325BC 02600 LOT 6

DUNDEE Lot 6
George Ct.

698, 1217 = 1915 g398



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DUNDEE Lot 6
 George Ct.

NOTE: Manufactured trusses must have a min. of 6" heel to meet current insulation code reqs.

NOTE: Furnaces & ducting MUST be located within the heated living space, such as an insulated mechanical room. Ducting must be placed in open-web joists between floors OR within soffits. When using Cadet style zone heating, ALL must be placed on interior walls

NOTE: Bath fans to be energy star rated

NOTE: To comply with Additional measures table N1101.1(2) Install a tankless gas or propane water heater with min. UEF 0.90

NOTE: Sealing for the purpose of creating a continuous air barrier shall be in accordance with the applicable requirements of table N1104.8, or the dwelling shall be tested to demonstrate a blower door result not greater than 4.0 ACH50. It is recommended testing be contracted with a certified testing contractor/company. With testing performed after insulation, prior to sheetrock. PROVIDE test reports to city (or county if located out of city), planning prior to final inspection. Test reports are recommended prior to cover to prevent complex repairs to reach compliance.

NOTE: A continuous WHOLE-HOUSE mechanical ventilation system must conform to Table M1505.4.3(1) & (2)

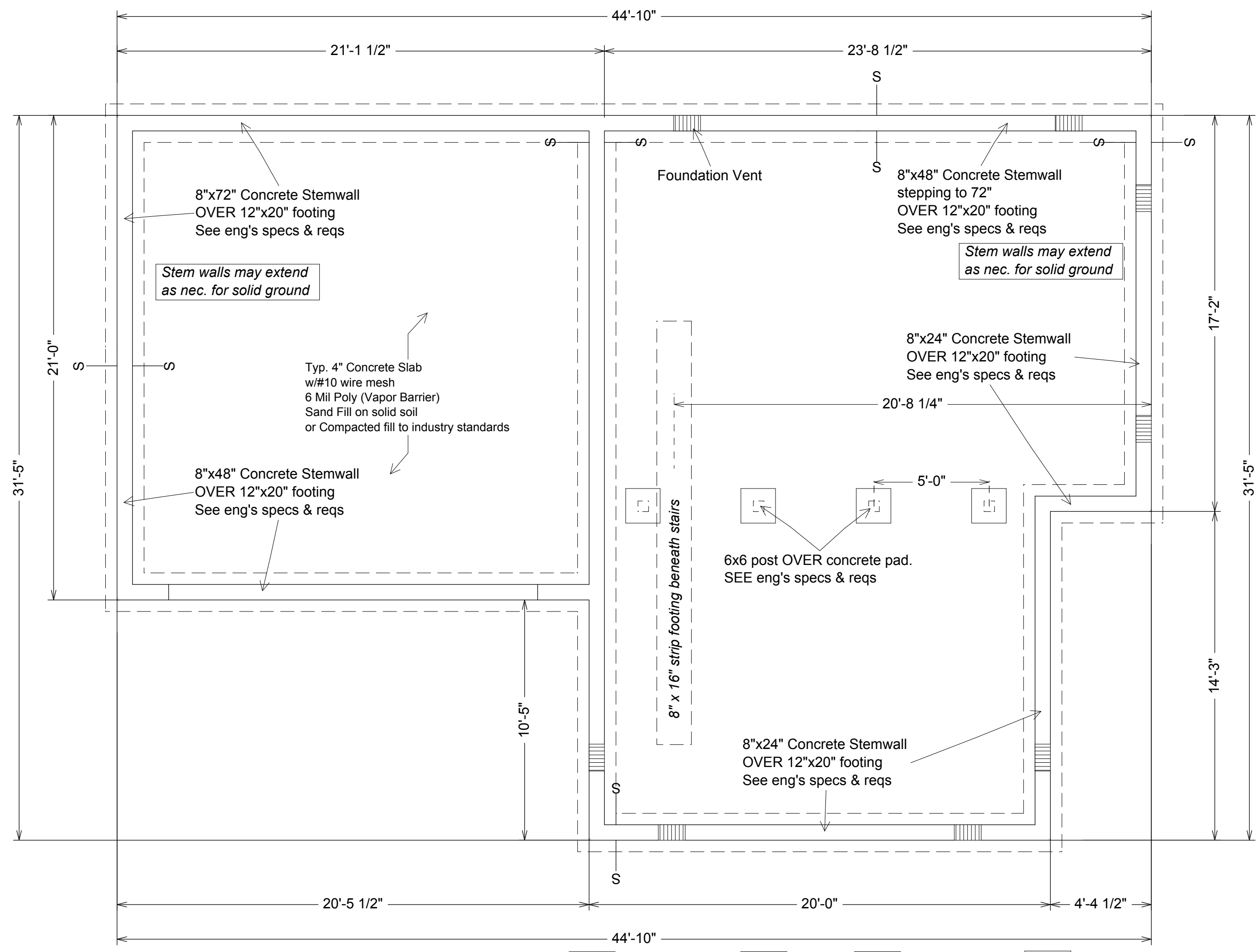
It is recommended HRV or ERV system be designed & installed by a licensed contractor

NOTE: Top floor recessed lighting is to be in a sealed box with insulation over, OR LED disk lighting fixtures.

NOTE: A continuous air barrier must be installed between shower/tub and shall separate the wall from the shower or tub whenever shower or tub is adjacent to exterior wall (Table N1104.8)

NOTE: Firred out basement walls must be 2x6 with R-21 batt insulation, OR continuous rigid insulation (no studs) R-15

NOTE: Windows to be U-0.27



Ground Cover
Use Black 6 mil poly ground cover.

NOTE: Lap ground cover 12" @ all joints and cover entire surface area extending full width and length of crawl space and turn 12" up the foundation wall. (See local building code requirements.)

Ground cover of 55lb. roll roofing or approved equal shall be installed on ground beneath concrete floor slab.

GROUNDING ROD:
One #4 rebar Min. (#5 suggested) shall be stubbed up at least 12" above floor plate line & tightly attached to rebar in footing. Splice lap stubbed up rebar to the footing bar shall be 12" min.

All footing and concrete wall sizes, specs & req.s to be provided by licensed engineer. Any and all fill compaction specs & req.s to be provided by licensed engineer ALWAYS: Engineering specs, dims, & reqs supercede these designs

VENTING: 6 VENTS Size: 1206DH
Venting Calc. per USB Section 2516(c)6
1sf NET FREE AREA/150sf Underfloor Area.
CALCS: 631 SF (Crawl Area)/150=4.21/.8sf=5.27 (6 VENTS)

REFER TO ENGINEER SPEC.S FOR LATERAL SPECIFICATIONS PRIOR TO CONSTRUCTION

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FOUNDATION PLAN
Scale: 1/4" = 1'

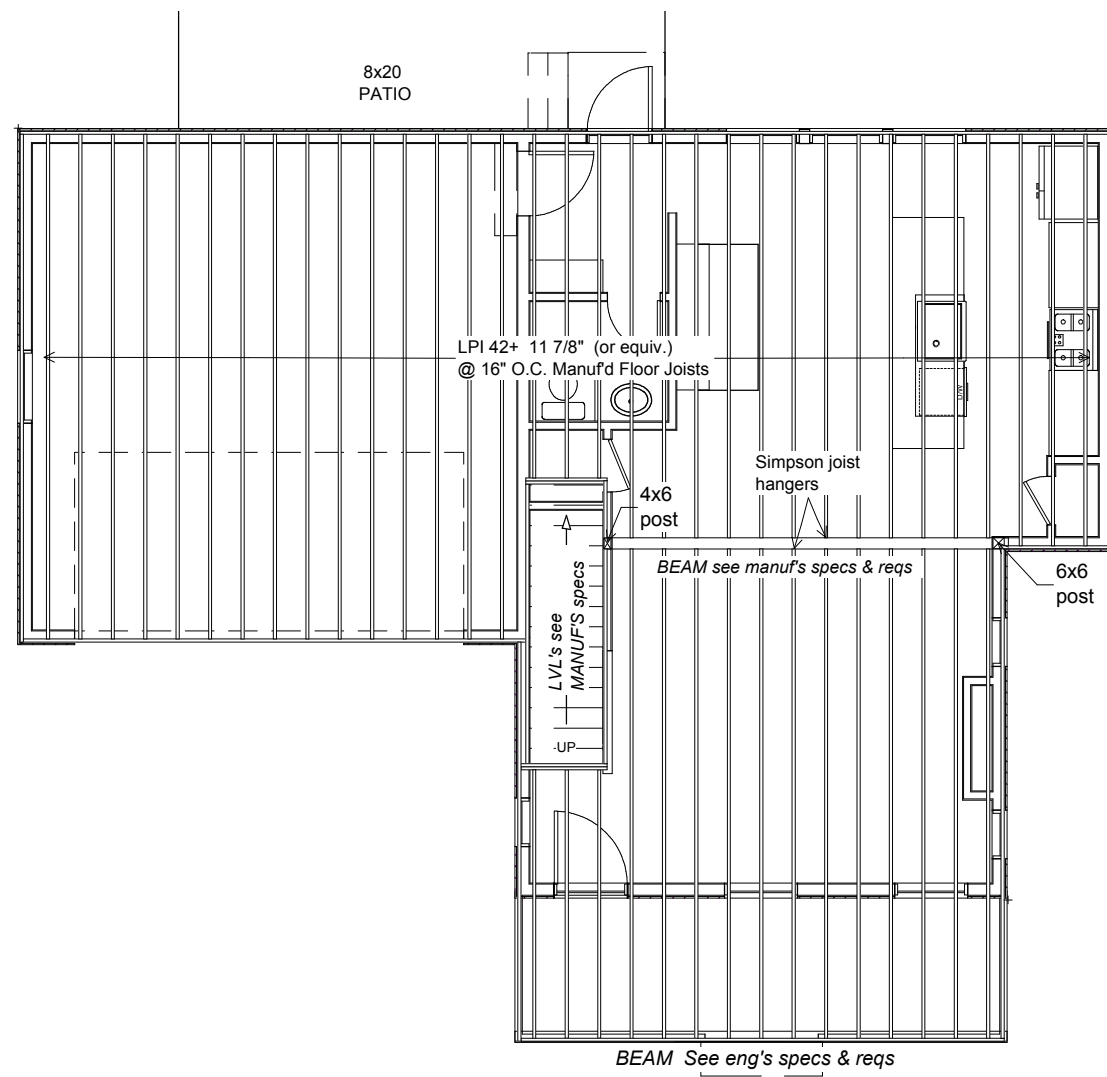
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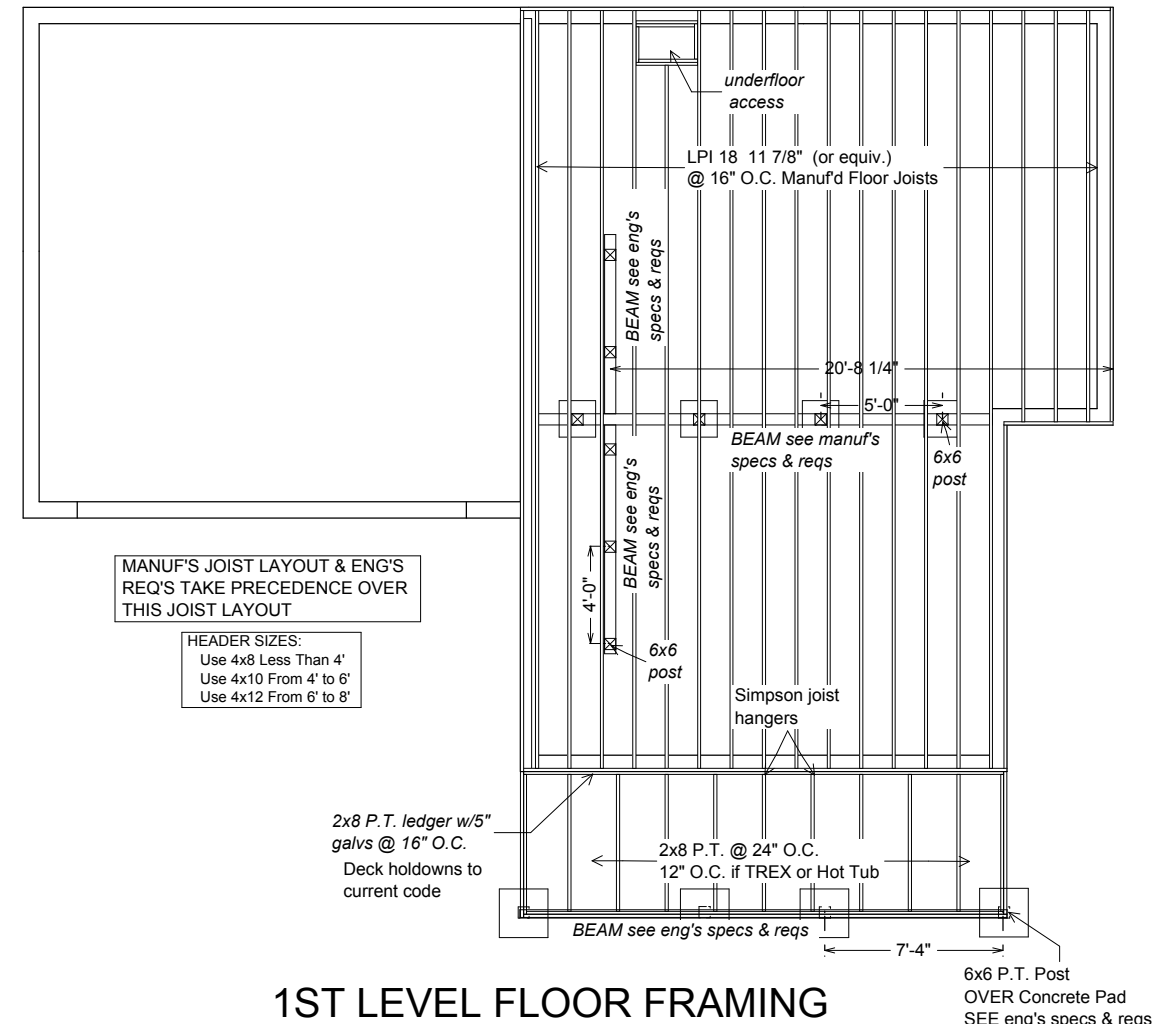
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380 SW 3rd St
MAP/TAX LOT:
R3325BC 02600 LOT 6

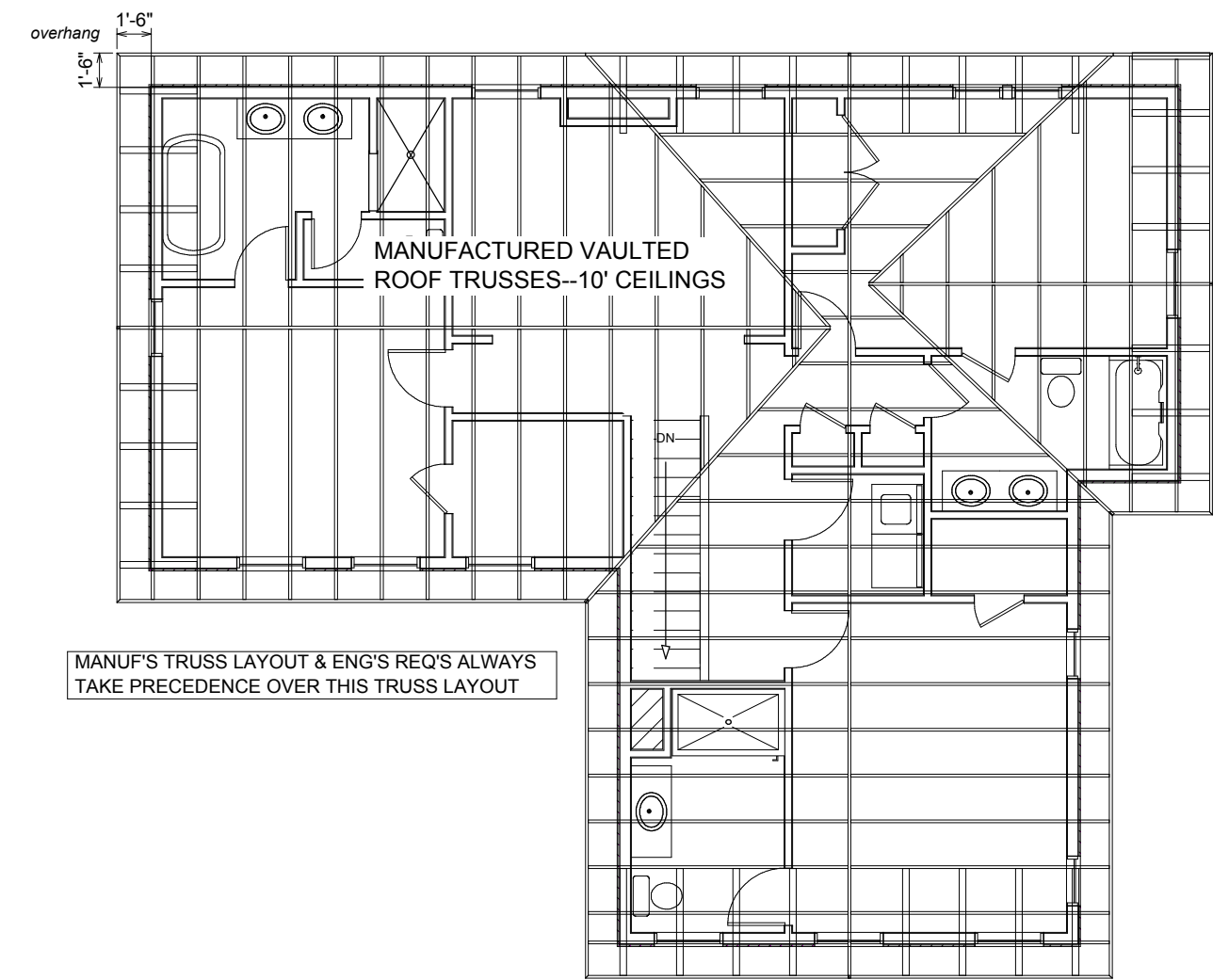
DUNDEE Lot 6
George Ct.



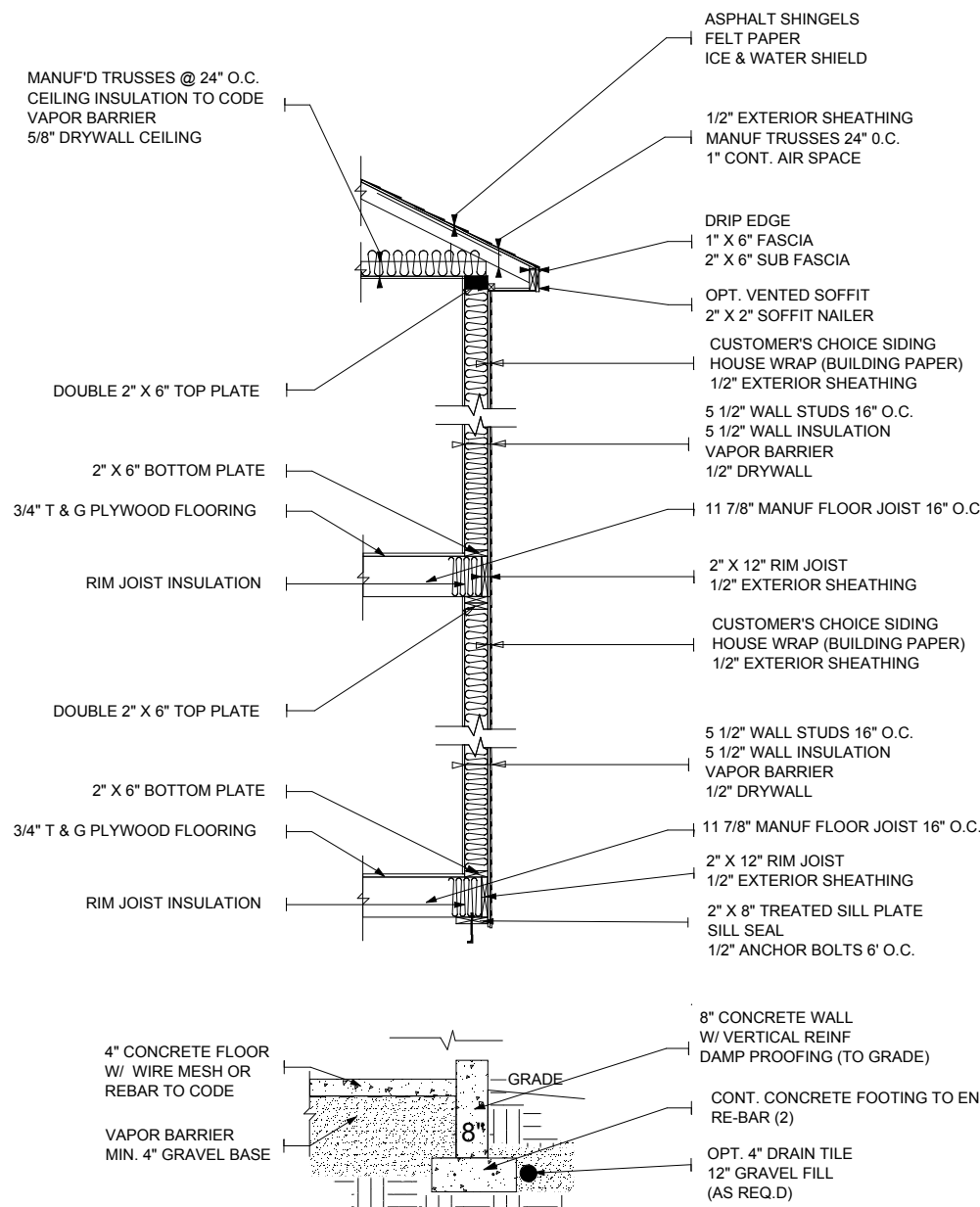
2ND LEVEL FLOOR FRAMING
Scale: 1/8" = 1'



1ST LEVEL FLOOR FRAMING
Scale: 1/8" = 1'



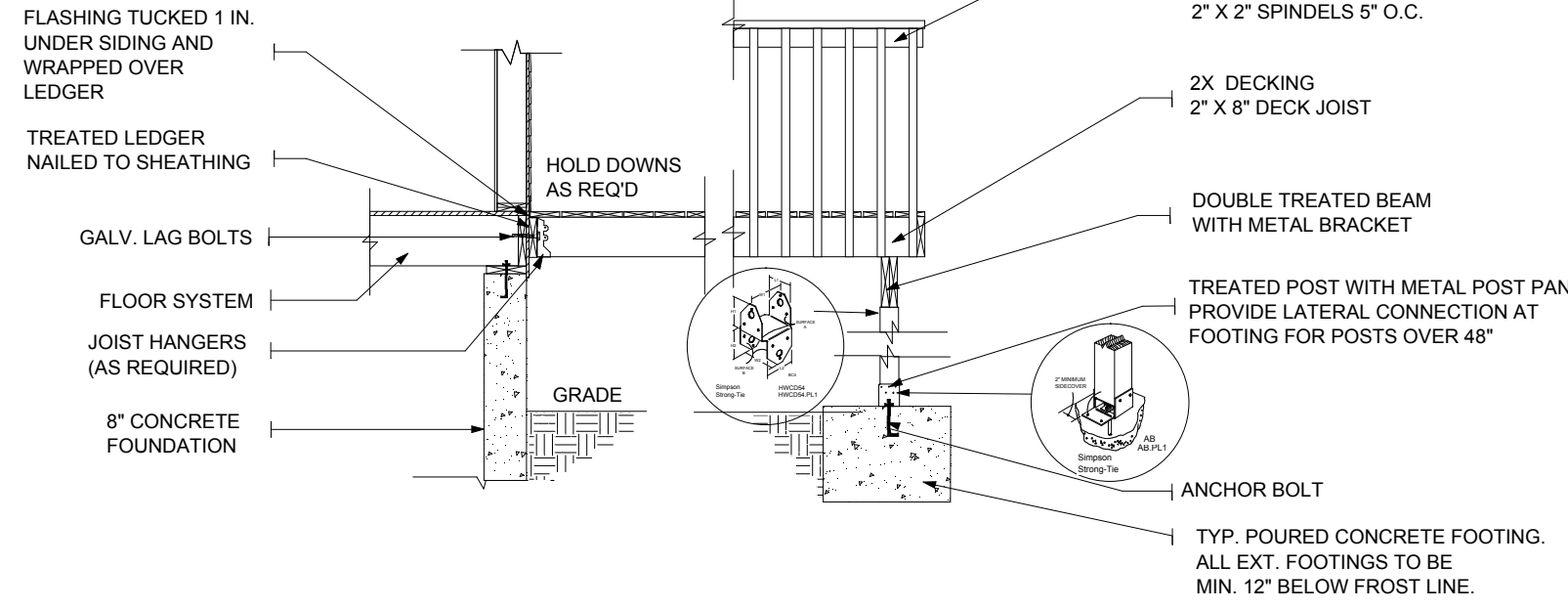
ROOF FRAMING
Scale: 1/8" = 1'



Typical 2 Story Section

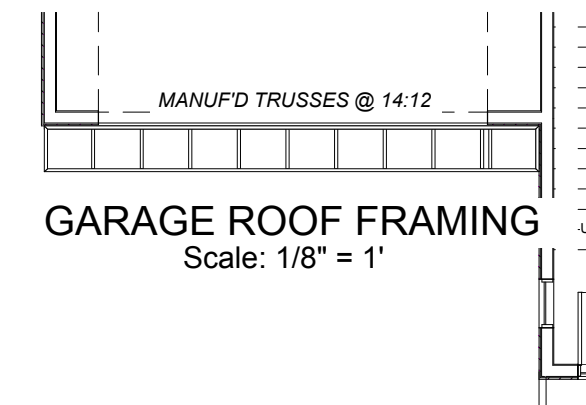
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**TYPICAL DECK/PORCH/LANDING
DETAIL ATTACHED TO WOOD WALL**

(no scale)



GARAGE ROOF FRAMING
Scale: 1/8" = 1'

LP SOLIDSTART
ENGINEERED WOOD PRODUCTS

www.lpcorp.com

I-Joist Spans & Design Properties
(for most common depths - see website or product brochures for other sizes)

THESE TABLES SHOULD NOT BE USED FOR DESIGN

MANUFACTURER	PRODUCT	FLANGE (width x depth)	WEB	16" O.C.			18.2" O.C.			24" O.C.			PLF	M	EI	V	End R w/o	End R w
				16'-1"	14'-3"	13'-4"	15'-3"	14'-3"	14'-9"	15'-3"	14'-9"	16'-5"						
9-1/2"	LP	LPI 18	2.50" X 1.50" SOLID	3/8" OSB	16'-1"	14'-3"	13'-4"	2.6	2366	142	1130	870 *	1025 *					
	LP	LPI 20+	2.50" X 1.50" SOLID	3/8" OSB	16'-2"	15'-3"	14'-3"	2.6	2810	195	1280	970 *	1140 *					
	LP	LPI 32+	2.50" X 1.50" SOLID	3/8" OSB	17'-0"	18'-0"	14'-9"	2.6	3620	243	1250	970 *	1140 *					
	LP	LPI 42+	3.50" X 1.50" SOLID	3/8" OSB	19'-0"	17'-11"	16'-5"	3.4	5376	321	1340	1185 *	1340 *					
11-7/8"	LP	LPI 18	2.50" X 1.50" SOLID	3/8" OSB	18'-1"	17'-1"	16'-7"	2.9	3100	248	1335	870 *	1145 *					
	LP	LPI 20+	2.50" X 1.50" SOLID	3/8" OSB	18'-4"	18'-3"	17'-0"	2.9	3765	318	1485	970 *	1275 *					
	LP	LPI 32+	2.50" X 1.50" SOLID	3/8" OSB	20'-2"	19'-0"	17'-7"	2.9	4690	408	1485	970 *	1275 *					
	LP	LPI 36	2.25" X 1.50" LVL	3/8" OSB	21'-1"	19'-10"	18'-5"	3.1	6445	429	1615	1200 (1-3/4")	1810 (1-3/4")					
12 PSF DL	LP	LPI 42+	3.50" X 1.50" SOLID	3/8" OSB	22'-8"	21'-4"	19'-10"	3.6	8965	541	1625	1245 *	1510 *					
	LP	LPI 56	3.50" X 1.50" LVL	7/16" OSB	24'-1"	22'-8"	21'-1"	4.5	10170	688	2055	1400 (1-3/4")	1840 (1-3/4")					
14"	LP	LPI 18	2.50" X 1.50" SOLID	3/8" OSB	20'-7"	19'-1"	17'-1"	3.1	3720	371	1510	870 *	1245 *					
	LP	LPI 20+	2.50" X 1.50" SOLID	3/8" OSB	22'-0"	20'-8"	18'-7"	3.1	4400	474	1680	970 *	1395 *					
	LP	LPI 32+	2.50" X 1.50" SOLID	3/8" OSB	22'-10"	21'-6"	19'-6"	3.1	5645	589	1680	970 *	1395 *					
	LP	LPI 36	2.25" X 1.50" LVL	3/8" OSB	23'-10"	22'-6"	20'-11"	3.4	7755	622	1830	1200 (1-3/4")	1810 (1-3/4")					
12 PSF DL	LP	LPI 42+	3.50" X 1.50" SOLID	3/8" OSB	25'-0"	24'-3"	22'-4"	3.8	8390	802	1875	1300 *	1690 *					
	LP	LPI 56	3.50" X 1.50" LVL	7/16" OSB	27'-3"	25'-8"	23'-10"	4.8	12250	968	2330	1400 (1-3/4")	1840 (1-3/4")					
16"	LP	20+	2.50" X 1.50" SOLID	3/8" OSB	24'-5"	22'-4"	19'-7"	3.3	5050	652	1870	970 *	1510 *					
	LP	LPI 32+	2.50" X 1.50" SOLID	3/8" OSB	25'-3"	23'-9"	19'-7"	3.3	6545	791	1870	970 *	1510 *					
	LP	LPI 36	2.25" X 1.50" LVL	3/8" OSB	26'-3"	24'-10"	23'-1"	3.6	8995	838	2020	1200 (1-3/4")	1810 (1-3/4")					
	LP	LPI 42+	3.50" X 1.50" SOLID	3/8" OSB	28'-6"	26'-10"	25'-0"	4.0	9725	1092	2115	1350 *	1800 *					
12 PSF DL	LP	LPI 56	3.50" X 1.50" LVL	7/16" OSB	30'-1"	28'-4"	26'-4"	5.0	14295	1301	2585	1400 (1-3/4")	1840 (1-3/4")					

All spans based upon a min. 23/32" sub-floor glued & nailed to the I-joists

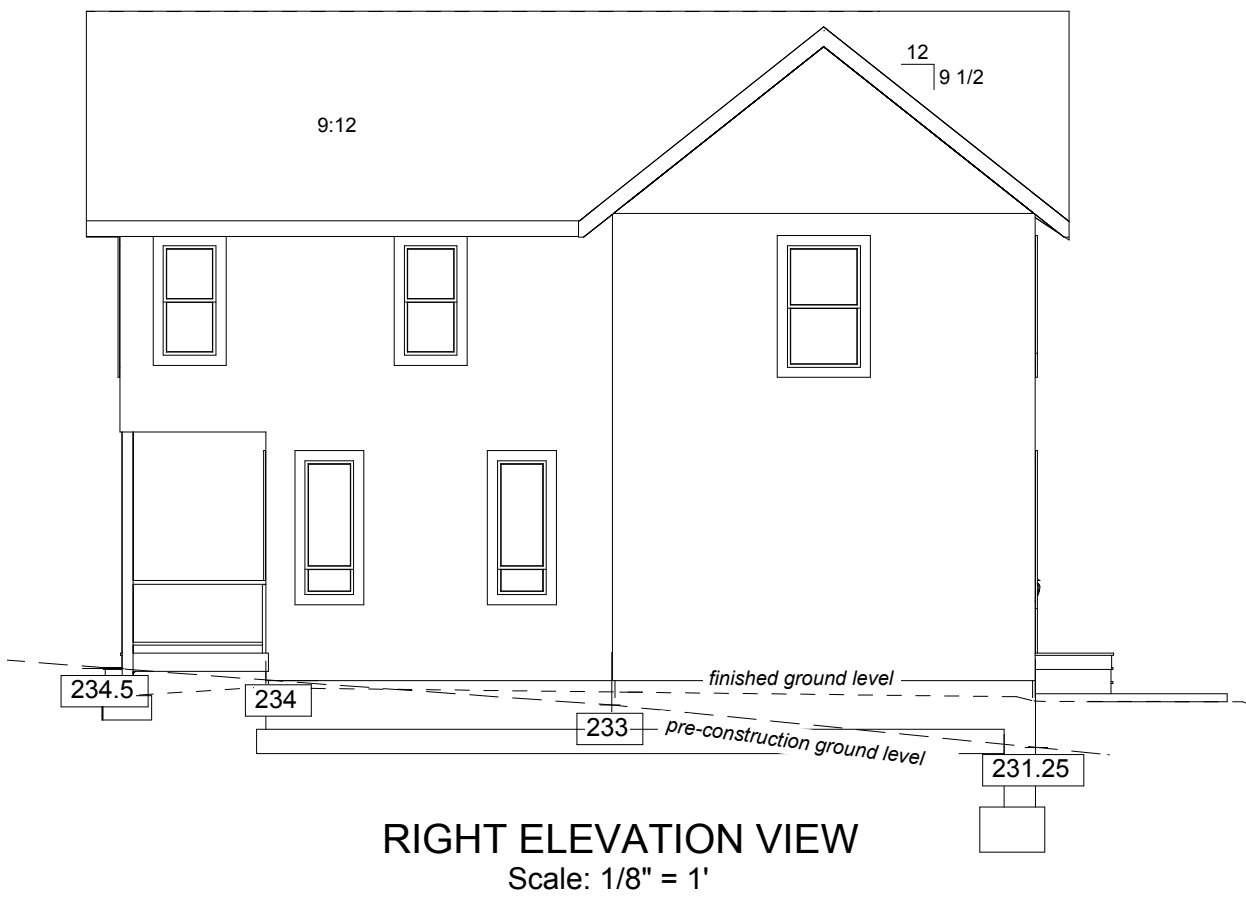
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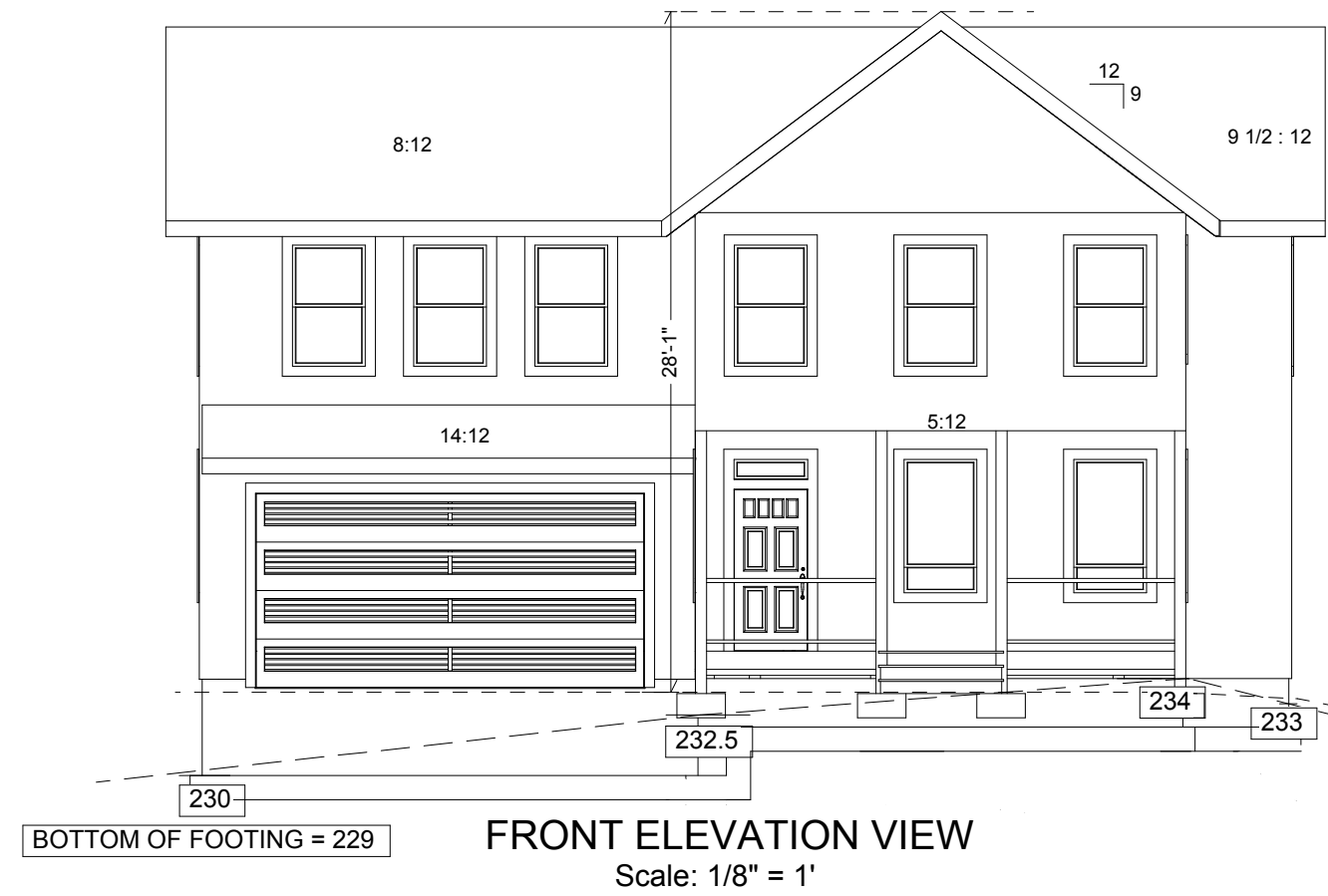
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MAP/TAX LOT:
R3325BC 02600 LOT 8

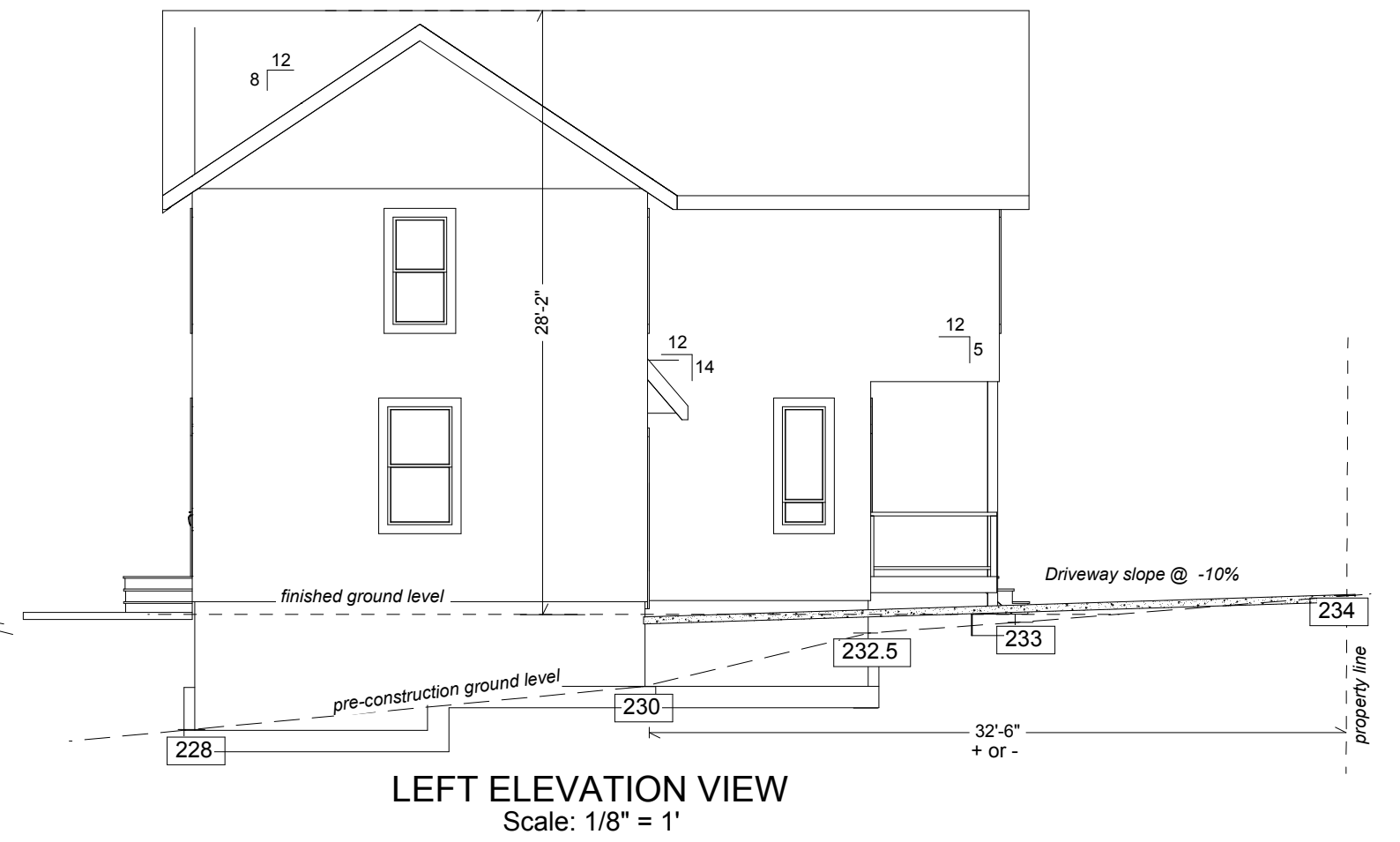
DUNDEE Lot 6
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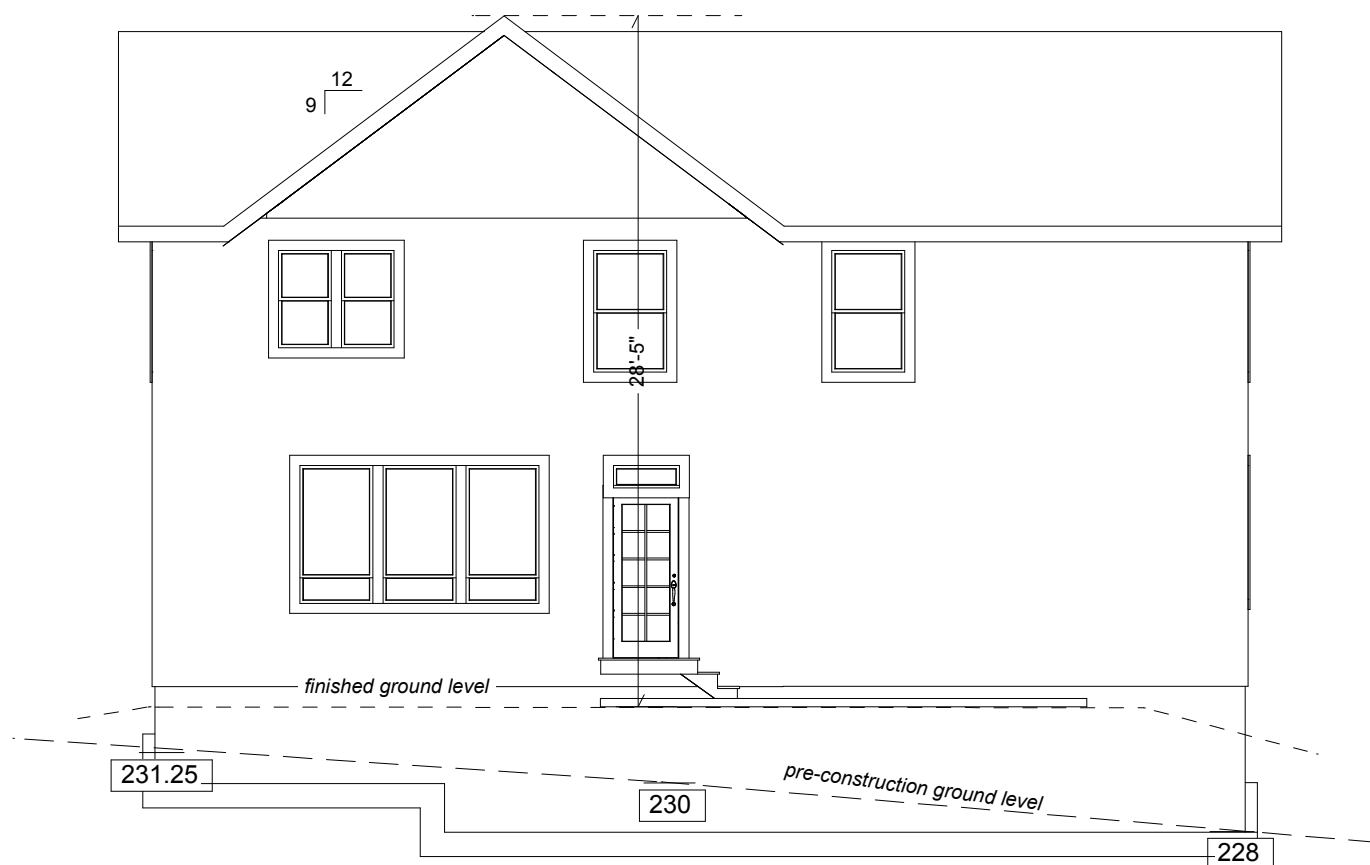
RIGHT ELEVATION VIEW
Scale: 1/8" = 1'



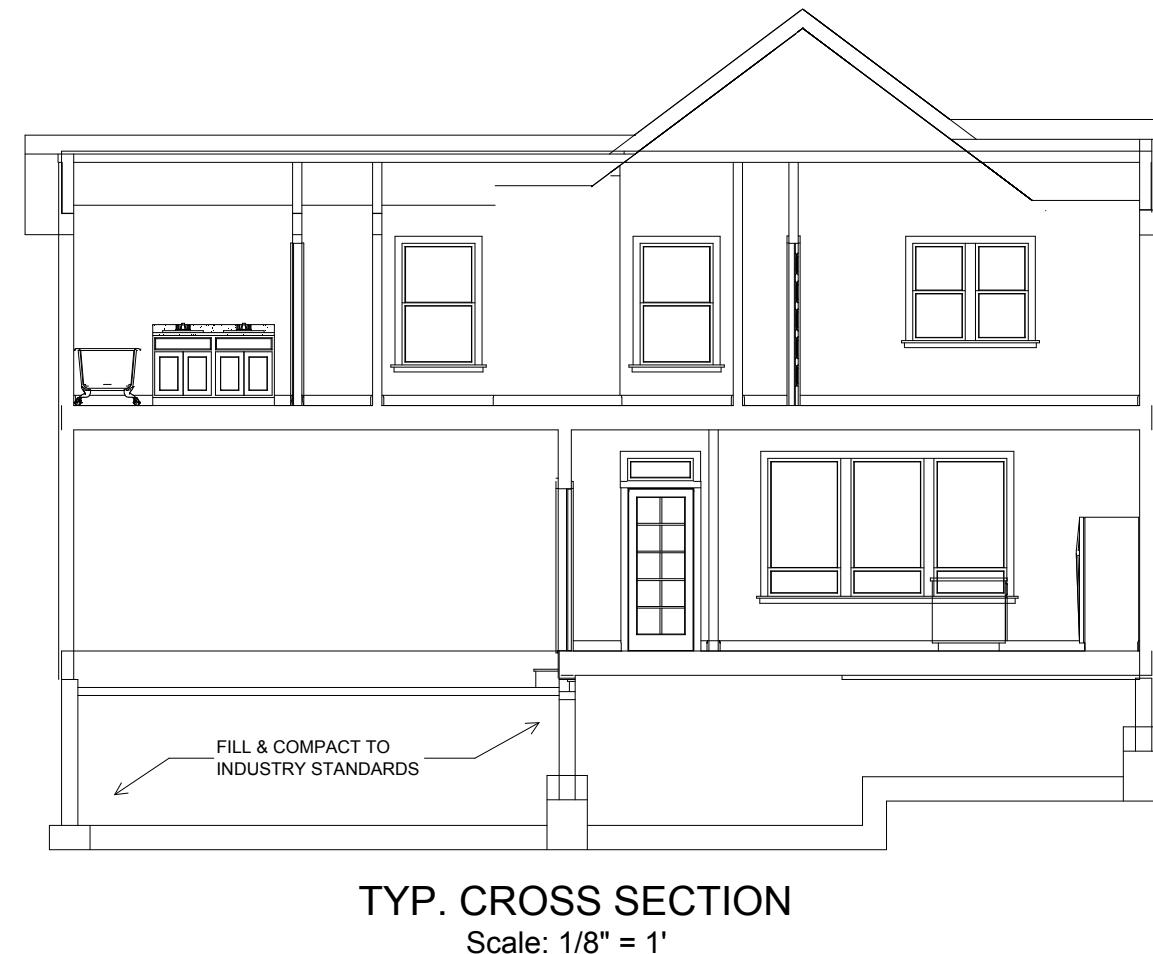
FRONT ELEVATION VIEW
Scale: 1/8" = 1'



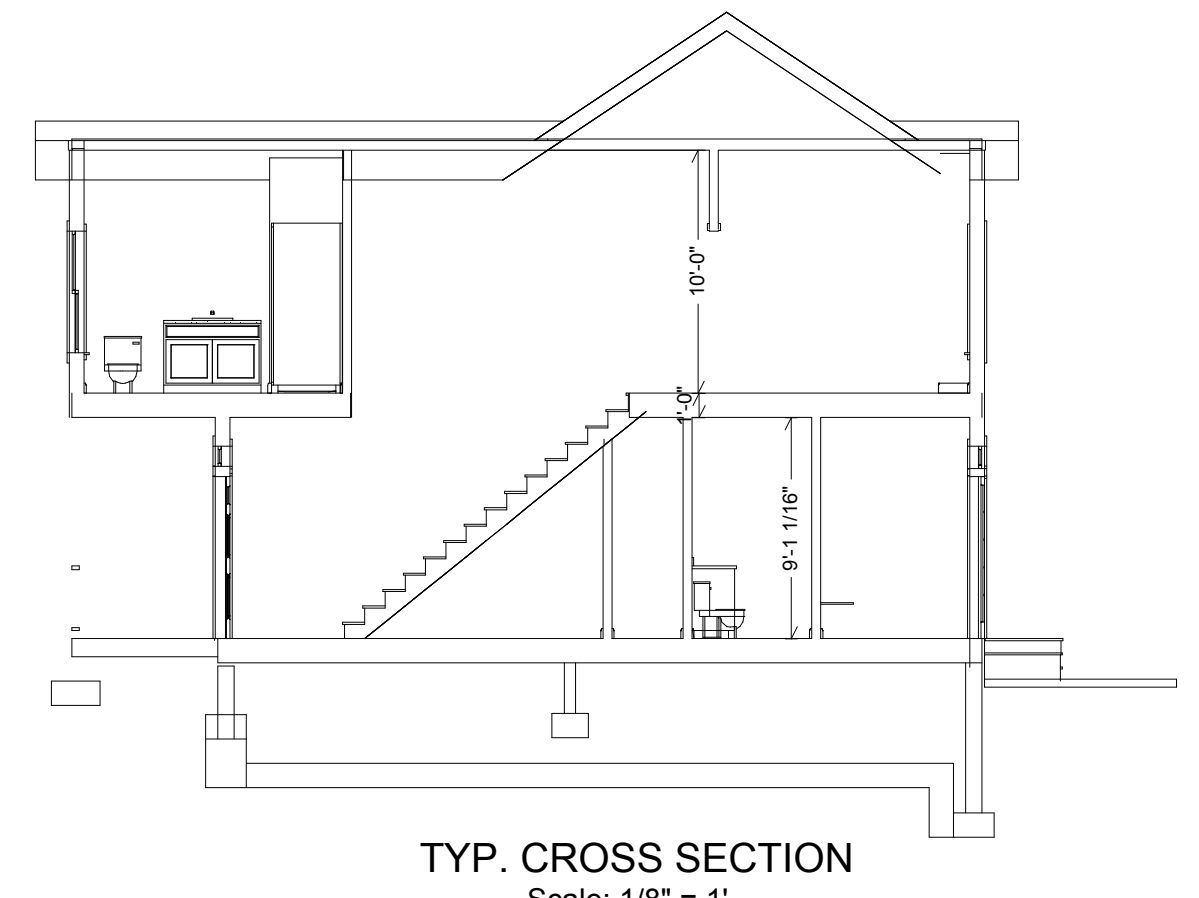
LEFT ELEVATION VIEW
Scale: 1/8" = 1'



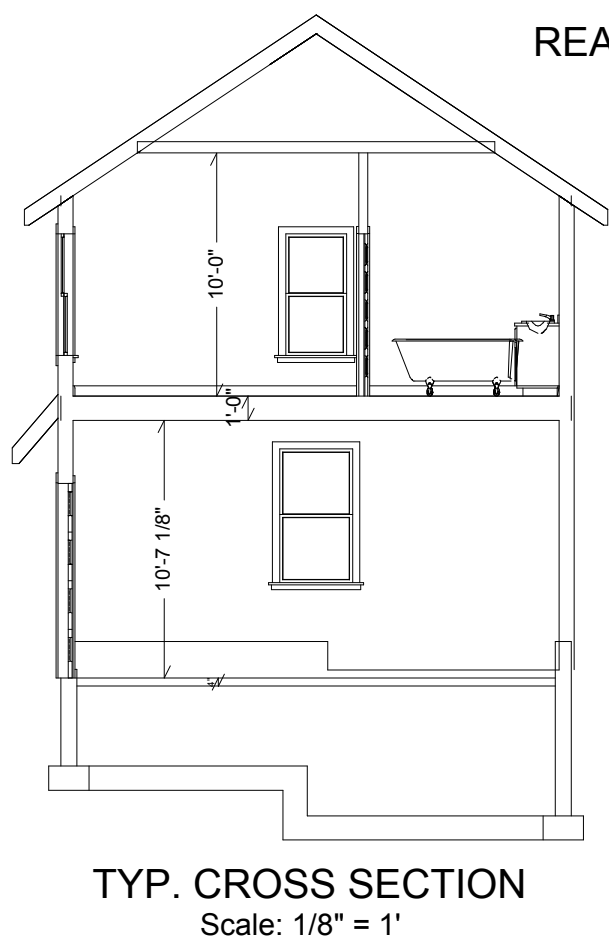
REAR ELEVATION VIEW
Scale: 1/8" = 1'



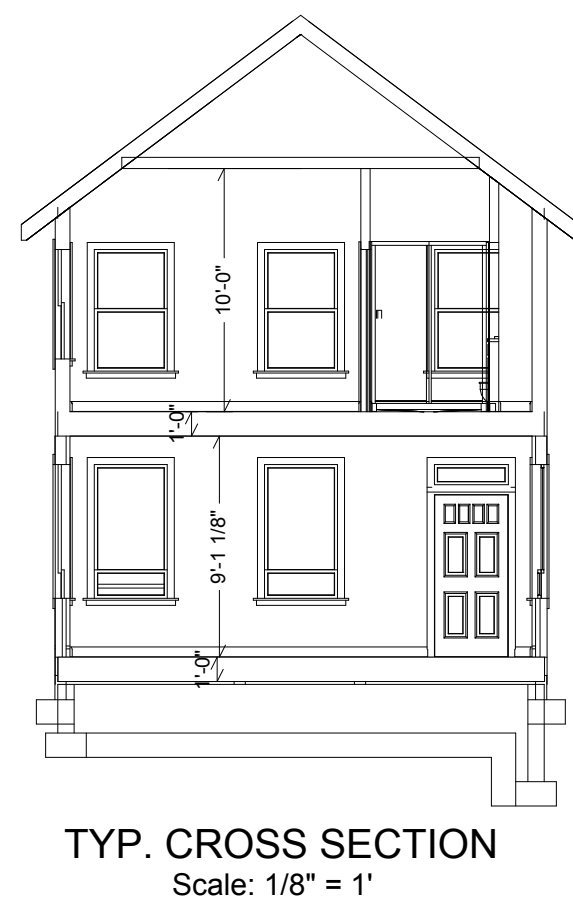
TYP. CROSS SECTION
Scale: 1/8" = 1'



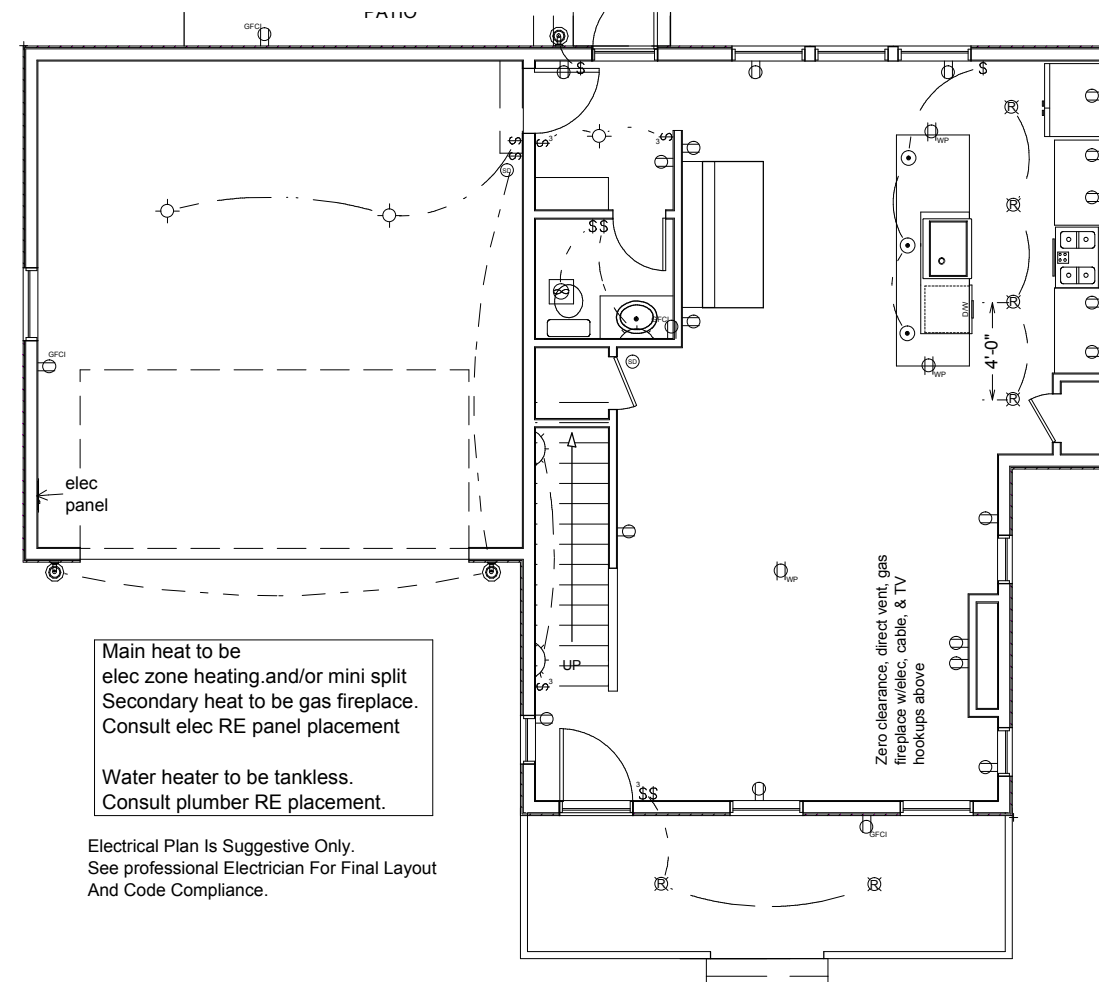
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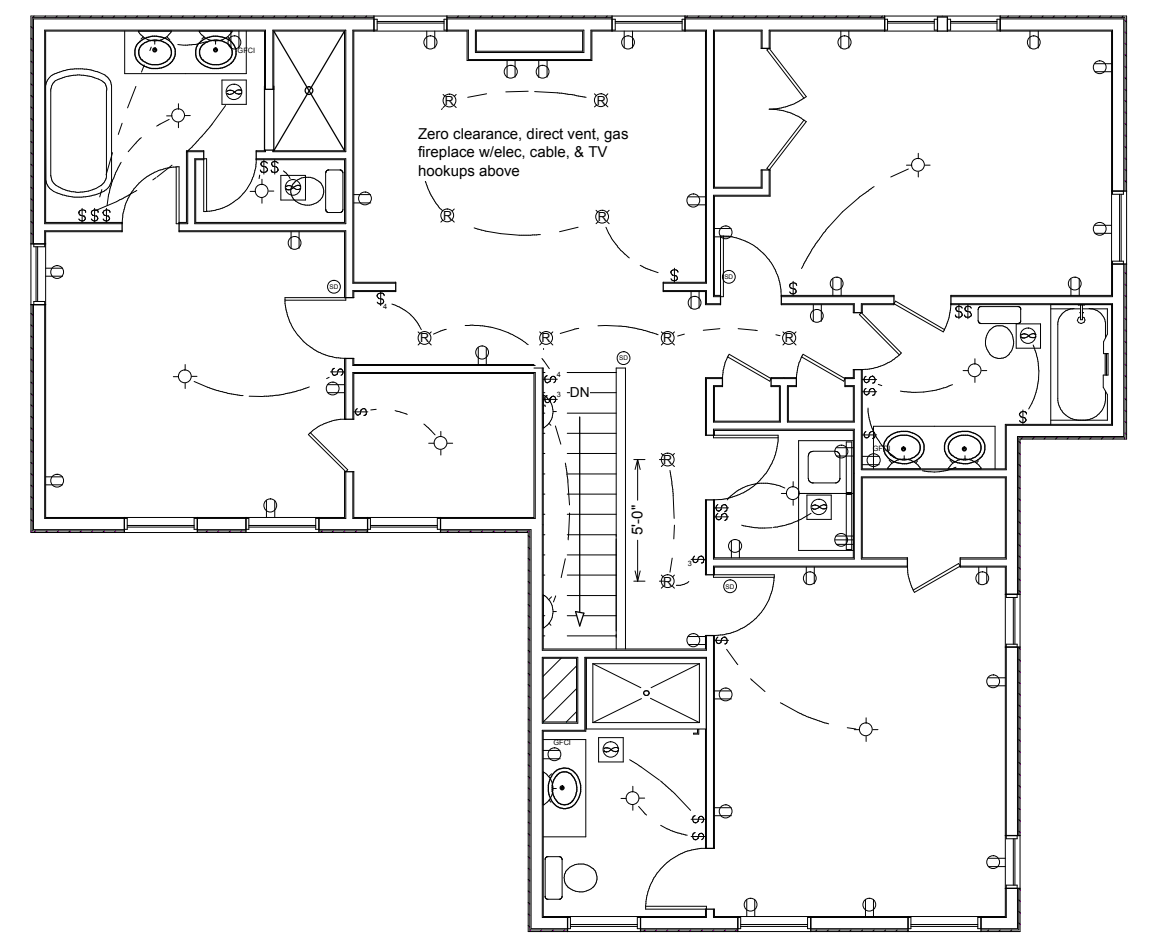
TYP. CROSS SECTION
Scale: 1/8" = 1'



TYP. CROSS SECTION
Scale: 1/8" = 1'



1ST LEVEL SUGGESTED ELECTRICAL
Scale: 1/8" = 1'



2ND LEVEL SUGGESTED ELECTRICAL
Scale: 1/8" = 1'

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380 SW 3rd St
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R3325BC 02600 LOT 6

DUNDEE Lot 6
George Ct.

TABLE N1101.1(1) PRESCRIPTIVE ENVELOPE REQUIREMENTS*

Table with columns: BUILDING COMPONENT, STANDARD BASE CASE (Required Performance, Equiv. Value), LOG HOMES ONLY (Required Performance, Equiv. Value). Rows include Wall insulation, Flat ceilings, Vaulted ceilings, Underfloors, Slab-edge perimeter, Heated slab interior, Windows, Skylights, Exterior doors, etc.

For SI: 1 inch = 25.4 mm, 1 square foot = 0.0929 m², 1 degree = 0.0175 rad, n/a = not applicable. a. As allowed in Section N1104.1, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-factor standards...

TABLE N1101.1(2) ADDITIONAL MEASURES

Table with 2 columns: Item number, Measure description. Items include: 1. HIGH EFFICIENCY HVAC SYSTEM, 2. HIGH EFFICIENCY WATER HEATING SYSTEM, 3. WALL INSULATION UPGRADE, 4. ADVANCED ENVELOPE, 5. DUCTLESS HEAT PUMP, 6. HIGH EFFICIENCY THERMAL ENVELOPE UA, 7. GLAZING AREA, 8. 3 ACH AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION.

For SI: 1 square foot = 0.093 m², 1 watt per square foot = 10.8 W/m². a. Appliances located within the building thermal envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.

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ENERGY EFFICIENCY

TABLE N1104.8 AIR BARRIER INSTALLATION AND AIR SEALING REQUIREMENTS

Table with columns: COMPONENT, AIR BARRIER CRITERIA. Rows include: General requirements, Ceiling/attic, Walls, Windows, skylights and doors, Rim/band joists, Floors, Crawl space walls, Shafts, penetrations, Garage separation, Recessed lighting, Shower/tub on exterior walls, Electrical/phone box on exterior walls, HVAC register boots.

N1104.8 Air leakage. The building thermal envelope shall be constructed to limit air leakage in accordance with this section.

N1104.8.1 Air barriers. A continuous air barrier shall be installed and fully aligned with the building thermal envelope on every vertical portion of air-permeable insulation and on the warm side of horizontal, air-permeable insulation. Air-permeable insulation shall not be used as a sealing material.

Exception: Unvented attics, continuous insulation walls and similar conditions where an impermeable insulation layer forms an air barrier.

N1104.8.2 Sealing required. Exterior joints around window and door frames, between wall cavities and window or door frames, between walls and foundation, between walls and roof, between wall panels, at penetrations or utility services through walls, floors and roofs and all other openings in the exterior envelope shall be sealed in a manner approved by the building official.

Sealing for the purpose of creating a continuous air barrier shall be in accordance with the applicable requirements of Table N1104.8, or the dwelling shall be tested to demonstrate a blower door result not greater than 4.0 ACH50.

***Provide test reports to city prior to final inspection. Test reports are recommended prior to cover to prevent complex repairs to reach compliance.

TABLE M1505.4.3(1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

Table with columns: DWELLING UNIT FLOOR AREA (square feet), NUMBER OF BEDROOMS (0-1, 2-3, 4-5, 6-7, >7), Airflow in CFM. Rows include floor area ranges from < 1,500 to > 7,500.

For SI: 1 square foot = 0.0929 m², 1 cubic foot per minute = 0.0004719 m³/s.

TABLE M1505.4.3(2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS**

Table with columns: RUN-TIME PERCENTAGE IN EACH 4-HOUR SEGMENT, Factor. Rows include percentages: 25%, 33%, 50%, 66%, 75%, 100%.

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation. b. Extrapolation beyond the table is prohibited.

SECTION M1505 MECHANICAL VENTILATION

M1505.1 General. Where Section R303.3 requires toilet rooms, bathrooms, and rooms with bathing or spa facilities to be mechanically ventilated, the ventilation equipment shall be installed in accordance with this section.

M1505.2 Recirculation of air. Exhaust air from range hoods, bathrooms, toilet rooms and rooms with bathing or spa facilities shall not be recirculated within a residence or circulated to another dwelling unit and shall be exhausted directly to the outdoors.

M1505.3 Exhaust equipment. Exhaust equipment serving single dwelling units shall be listed and labeled as providing the minimum required airflow in accordance with ANSI/AMCA 210-ANSI/ASHRAE 51.

M1505.4 Whole-house mechanical ventilation system. Whole-house mechanical ventilation systems shall be designed in accordance with Sections M1505.4.1 through M1505.4.3.

M1505.4.1 System design. The whole-house mechanical ventilation system shall provide balanced ventilation. Local exhaust or supply fans are permitted to serve as part of such a system.

supply fan ducted to the return side of an air handler shall be considered as providing supply ventilation for the balanced system.

M1505.4.2 System controls. The whole-house mechanical ventilation system shall be provided with controls that enable manual override.

M1505.4.3 Mechanical ventilation rate. The whole-house mechanical ventilation system shall provide outdoor air at a continuous rate as determined in accordance with Table M1505.4.3(1) or Equation 15-1.

Ventilation rate in cubic feet per minute = (0.01 x total square foot area of house) + [7.5 x (number of bedrooms + 1)]

Exception: The whole-house mechanical ventilation system is permitted to operate intermittently where the system has controls that enable operation for not less than 25 percent of each 4-hour segment and the ventilation rate prescribed in Table M1505.4.3(1) is multiplied by the factor determined in accordance with Table M1505.4.3(2).

M1505.5 Exhaust ventilation rate. Ventilation systems shall be designed to have the capacity to exhaust the minimum air flow rate determined in accordance with Table M1505.5. Exhaust flow ratings shall be source specific ventilation systems shall be in accordance with the Home Ventilating Institute (HVI) or Air Movement and Control Association (AMCA) residential ventilation standards.

Entire heating system (Air handler & ductwork) must be inside the insulated/conditioned area. Not more than 5% is permitted to be outside the heated space.

Whole House ventilation system must be an air balanced and installed in compliance with code. The system must exhaust indoor air and supply fresh air at an equal rate to the home. The system must be tied together to operate at the same time.

***A listed/tested manufactured HRV or ERV system installed per MII's and sized per the table is also an acceptable option.

2021 ORSC Energy & Mechanical Code Requirements.

E1

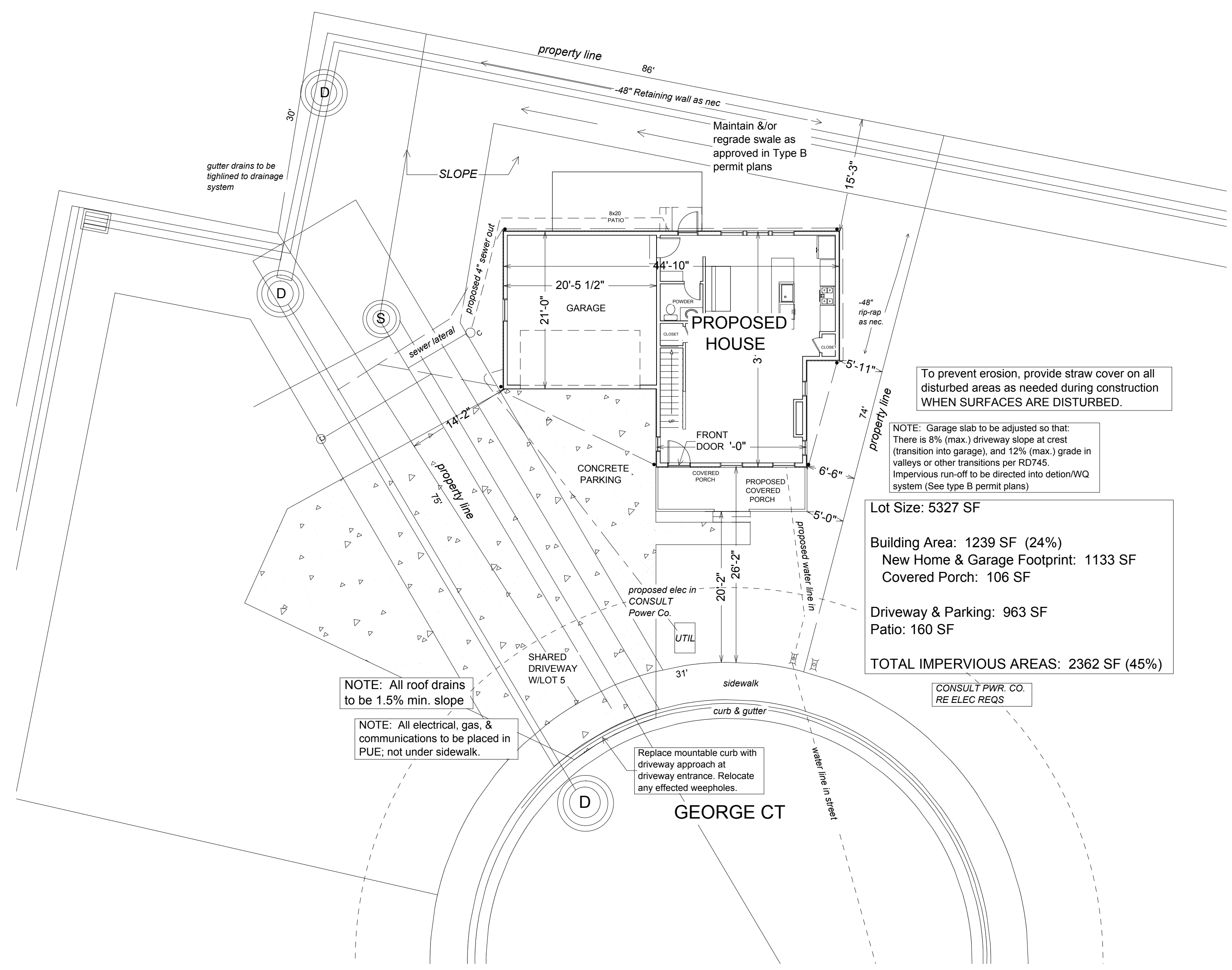
A RESIDENCE FOR: OLIVIA BEACH CONSTRUCTION COMPANY, LLC P.O. Box 414, Lincoln City, OR 97367 CCB# 199761 (541) 992-4341

OWNER/DEVELOPER: Walker John C/O Olivia Beach Construction 3329 SW Hwy 101, Lincoln City, OR (541) 921-1247

PROJECT MNGR: Erin Briggs email: erin@oliviabeach.com cell: (541) 992-4341

380 SW 3rd St MAP/TAX LOT: R3325BC 02600 LOT 6

DUNDEE Lot 6 George Ct.



NOTES:
 CODES VARY--ALWAYS CHECK STATE, COUNTY & CITY CODES PRIOR TO CONSTRUCTION.
 SOIL & CONDITIONS VARY--WHEN IN QUESTION ALWAYS CONSULT A LICENSED ENGINEER
 REGARDING SOIL CONDITION, FOOTINGS, STEM WALLS, RETAINING WALLS, SHEAR WALLS,
 HOLDOWNS, POST SIZE AND PLACEMENT, BEAM SIZE & PLACEMENT.

ALL ENGINEERING, JOIST DESIGNS, TRUSS DESIGNS, FOOTINGS & FOUNDATIONS SPECS &
 REGS CREATED BY ENGINEER AND/OR MANUFACTURING COMPANY. TAKE PRECEDENT
 OVER THESE DESIGNS. DESIGNER NOT TO BE HELD LIABLE FOR CONSTRUCTION

SCALE: 1" = 10'

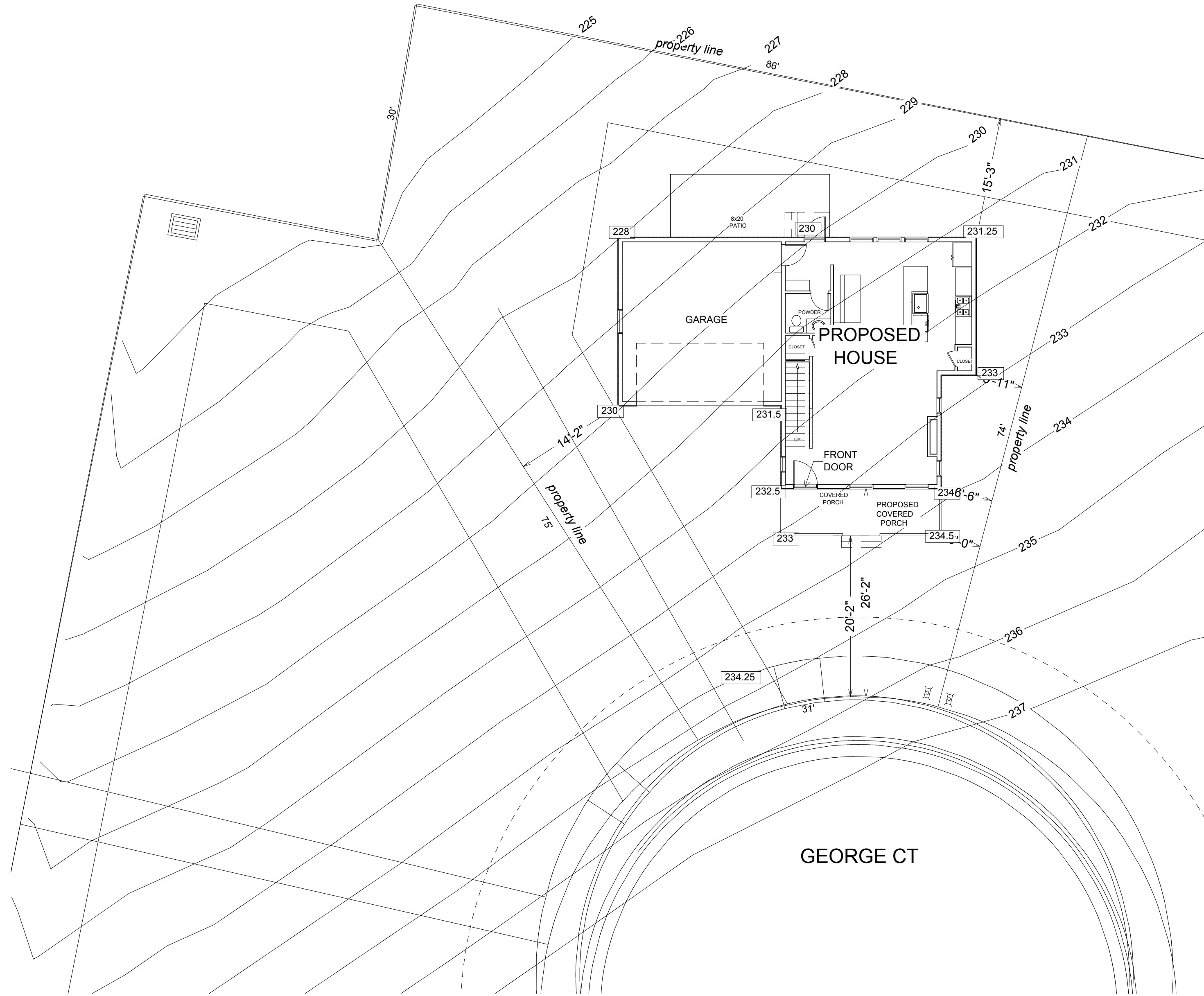
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