

New Construction: 4 Bdrm, 3 1/2 Bath, Media, Office, 2 Car Gar, Single Family Residence

Builder Revision to level 1
January 6, 2023



OVERVIEWS
(no scale)

NOTE: To comply with Additional measures table N1101.1(2) Install a tankless gas or propane water heater w/ min. UEF 0.90

Main heat to be elec zone heating.
Secondary heat to be gas fireplace.

Water heater to be tankless.
Consult plumber RE placement.

NOTE: Top floor recessed lighting is to be in a sealed box with insulation over, OR LED disk lighting fixtures.

NOTE: Furnaces & ducting MUST be located within the heated living space, such as an insulated mechanical room.
Ducting must be placed in open-web joists between floors OR within soffits.
When using Cadet style zone heating, ALL must be placed on interior walls

NOTE: A continuous WHOLE-HOUSE mechanical ventilation system must conform to Table M1505.4.3(1) & (2)

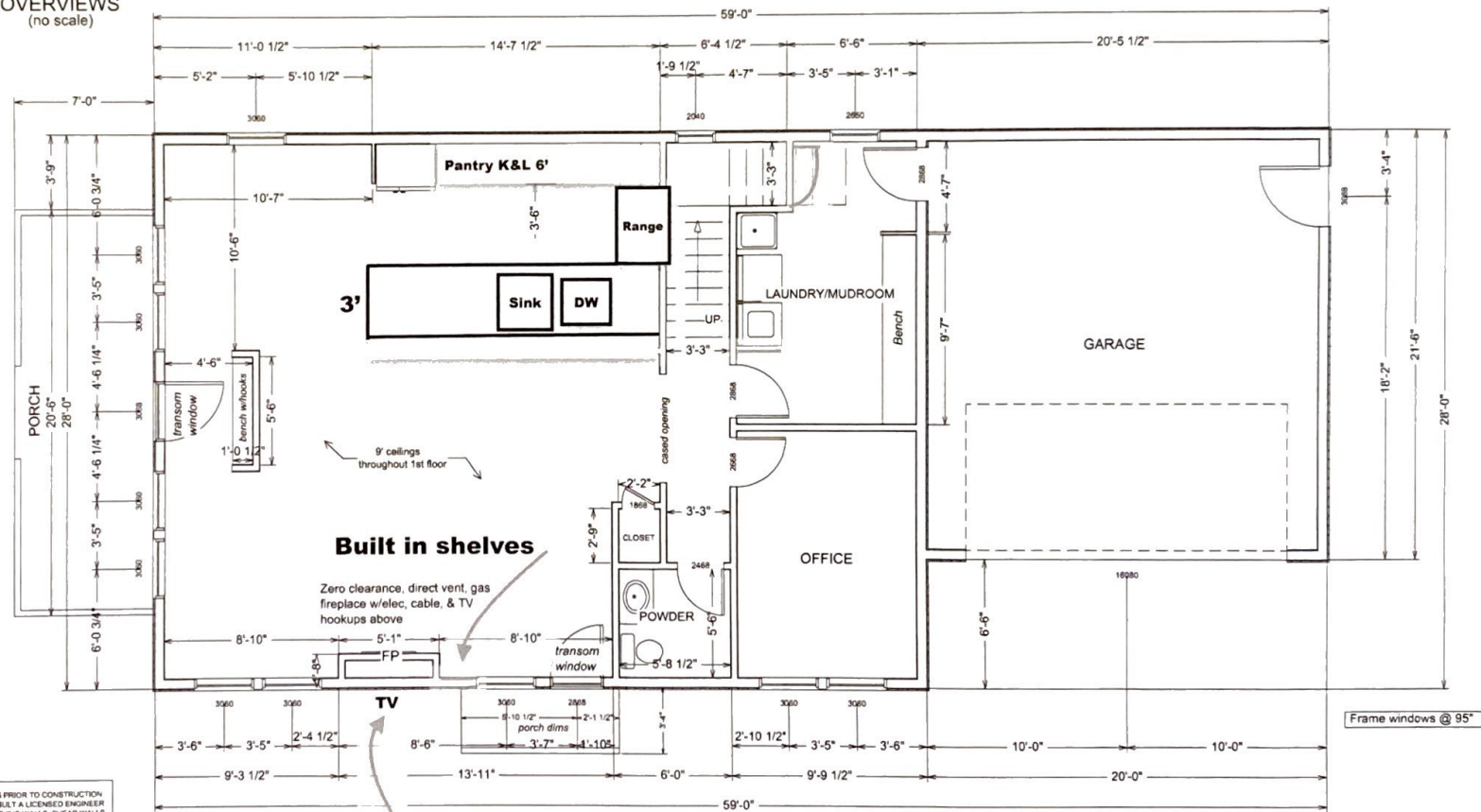
It is recommended HRV or ERV system be designed & installed by a licensed contractor

NOTE: Windows to be U-0.27

NOTE: Sealing for the purpose of creating a continuous air barrier shall be in accordance with the applicable requirements of table N1104.8, or the dwelling shall be tested to demonstrate a blower door result not greater than 4.0 ACH50.

It is recommended testing be contracted with a certified testing contractor/company. With testing performed after insulation, prior to sheetrock.

PROVIDE test reports to city (or county if located out of city), planning prior to final inspection. Test reports are recommended prior to cover to prevent complex repairs to reach compliance.



NOTES:
CODES VARY--ALWAYS CHECK STATE, COUNTY & CITY CODES PRIOR TO CONSTRUCTION.
SOIL & CONDITIONS VARY--WHEN IN QUESTION ALWAYS CONSULT A LICENSED ENGINEER.
REGARDING SOIL CONDITION, FOOTINGS, STEEL WALLS, RETAINING WALLS, SHEAR WALLS,
HOLDINGS, POST SIZE AND PLACEMENT, BEAM SIZE & PLACEMENT.
ALL ENGINEERING, JUST DESIGN, TRUSS DESIGNS, FOOTINGS & FOUNDATIONS SPECS &
REGS CREATED BY ENGINEER & ANCHOR MANUFACTURING COMPANY. TAKE PRECEDENCE
OVER THESE DESIGNS. DESIGNER NOT TO BE HELD LIABLE FOR CONSTRUCTION.

TV hung directly above FP,
centered on the 5' 1" FP

1ST LEVEL FLOOR PLAN
Scale: 1/4" = 1'

1087, 1350 & 2437 g260

OLIVIA BEACH CONSTRUCTION COMPANY, LLC
P.O. Box 414, Lincoln City, OR 97387
CCB# 199761 (541) 992-4341

OWNER/DEVELOPER: Walker John
C/O Olivia Beach Construction
3329 SW Hwy 101, Lincoln City, OR
(541) 921-1247

PROJECT MGR: Erin Briggs
email: erin@oliviabeach.com
cell: (541) 992-4341

PROJECT LOCATION
380 SW 3rd St
MAP/TAX LOT
R33258C 02600 LOT 2

DUNDEE Lot 2
George Ct.

LOT 2 1a

CHANGES: Reposition FP, exchange ref. & pantry. Add a wall and bench in entrance area

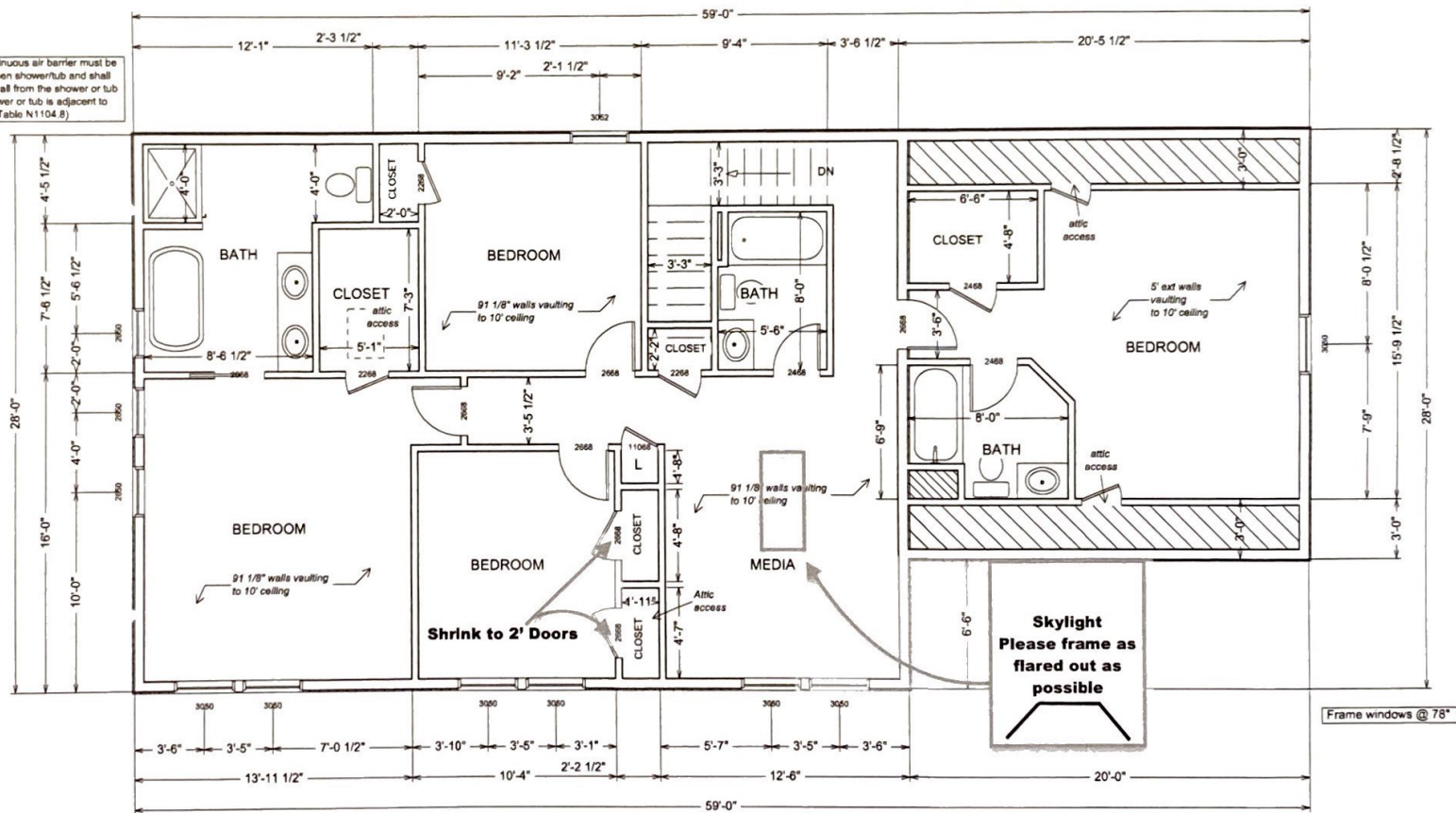
1ST LEVEL FLOOR PLAN

DATE: December 28, 2022

DUNDEE LOT 2

WINDOW SCHEDULE			DOOR SCHEDULE		
QTY	FLOOR	SIZE	QTY	FLOOR	SIZE
3	2	2650	7	2	2608
1	1	2040	1	1	2468
7	2	3050	3	2	2268
1	1	2650	1	1	1868
10	1	3060	3	1	2868
1	2	3052	3	2	2468
PLUS TRANSOMS (x)			1	1	2668
			3	1	3068
			1	2	11068

NOTE: A continuous air barrier must be installed between shower/tub and shall separate the wall from the shower or tub whenever shower or tub is adjacent to exterior wall (Table N1104.8)



2ND LEVEL FLOOR PLAN
Scale: 1/4" = 1'

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380 SW 3rd St
MAP1TAX LOT:
R33258C 02600 LOT 2

DUNDEE Lot 2
George Ct.

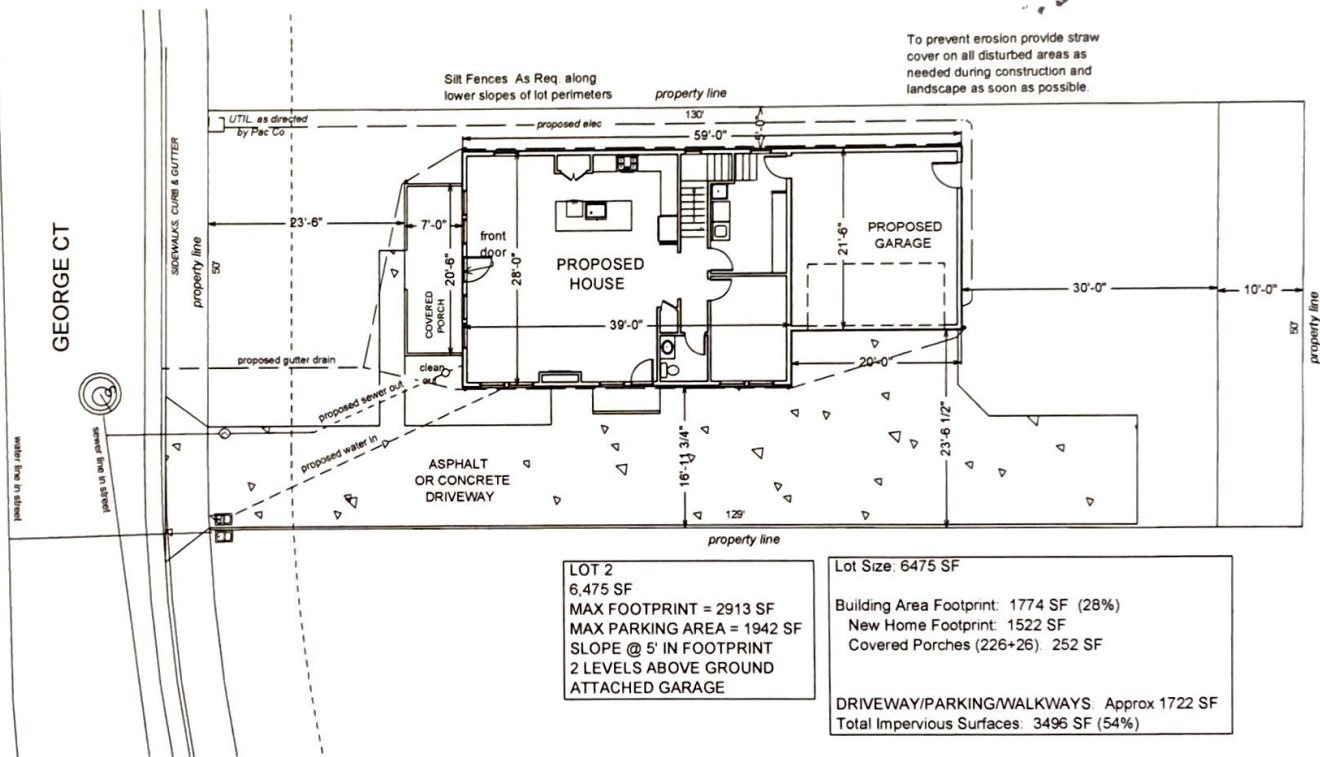
LOT 2 2a

2ND LEVEL FLOOR PLAN

DATE: February 24, 2022

DUNDEE LOT 2

GEORGE CT



LOT 2
6,475 SF
MAX FOOTPRINT = 2913 SF
MAX PARKING AREA = 1942 SF
SLOPE @ 5' IN FOOTPRINT
2 LEVELS ABOVE GROUND
ATTACHED GARAGE

Lot Size: 6475 SF
Building Area Footprint: 1774 SF (28%)
New Home Footprint: 1522 SF
Covered Porches (226+26): 252 SF
DRIVEWAY/PARKING/WALKWAYS: Approx 1722 SF
Total Impervious Surfaces: 3496 SF (54%)

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PROJECT MNGR: Erin Briggs
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PROJECT LOCATION
380 SW 3rd St
MAP/TAX LOT:
R3325BC 02600 LOT 2

DUNDEE Lot 2
George Ct.

SCALE: 1" = 10'

LOT 2

1/1

SITE PLAN

DATE: February 24, 2022

DUNDEE LOT 2